



DETERMINATION OF APPLICATION

TOWN AND COUNTRY PLANNING ACT 1990

Town and Country Planning (Development Management Procedure) (England) Order 2010

Shield Limited
 Scott Pinnick
 Hillier Centre
 Woodhouse Lane
 Botley
 SO30 2EZ

In pursuance of its powers under the above Act and Order, Southampton City Council as the Local Planning Authority, hereby gives notice that the application described below has been determined. The decision is:

FULL APPLICATION - REFUSAL

Proposal: Erection of a detached 2-storey, 3-bedroom dwelling (with rooms in roofspace) with associated amenity space, refuse and cycle storage

Site Address: Rear of 6 Furzedown Road Southampton SO17 1PN

Application No: 13/01106/FUL

For the following reason(s):

01.REASON FOR REFUSAL - Impact on visual amenity

Notwithstanding the precedent for backland development set by extant permission 12/00345/TIME (renewal of 08/01110/FUL) for erection pair of semi-detached dwellings on the adjoining plot, it is considered that the scale and massing of the proposed detached dwelling, including the design detailing, is poorly designed and out of character with the local area, given its narrow and tall proportions, as well as its contrived and top heavy roof profile. As such the proposal is judged to have an unacceptable impact on visual amenity and contrary to saved policies SDP7(iii)/(iv) and SDP9(i)/(iv) of the City of Southampton Local Plan Review (Adopted March 2006) and policy CS13 of the Development Plan Document Core Strategy Local Development Framework (Adopted January 2010).

02.REASON FOR REFUSAL - Impact on residential amenity

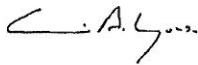
The back to back privacy distances between the existing and proposed dwellings does not meet the minimum separation distance of 21m between 2 storey properties, resulting in harmful loss of privacy to the existing and future occupiers. As such the proposal will have an unacceptable impact on residential amenity and therefore contrary to saved policies SDP1(i) of the City of Southampton Local Plan Review (Adopted March 2006) as supported by the guidance set out in paragraph 2.2.1 to 2.2.2 and 2.2.4 of the Council's Residential Design Guide Supplementary Planning Document (Approved September 2006).

03. REASON FOR REFUSAL - Impact on protected tree

There is a lack of information submitted for the Local Planning Authority to fully assess the impact on the root protection area of the Copper Beech at 5 Furzedown Road (protected by The Southampton (5 Furzedown Road) Tree Preservation Order 2008) and therefore determine whether the proposal will have adverse impact on visual amenity and be contrary to saved policy SDP7(i)/(ii) of the City of Southampton Local Plan Review (Adopted March 2006) and policy CS13 of the Development Plan Document Core Strategy Local Development Framework (Adopted January 2010).

04. REASON FOR REFUSAL - Mitigating climate change

The sustainability measures submitted with the application does not indicate that the development will meet Code for Sustainable Homes Level 4 and, therefore, the proposal is contrary to policy CS20 of the Development Plan Document Core Strategy Local Development Framework (Adopted January 2010).



Chris Lyons
Planning & Development Manager

28 August 2013

For any further enquiries please contact:
Stuart Brooks

IMPORTANT NOTE TO APPLICANT

This decision has been made in accordance with the submitted application details and supporting documents and in respect of the following plans and drawings.

Drawing No:	Version:	Description:	Date Received:	Status:
		Location Plan	03.06.2013	Refused
		Site Plan	03.06.2013	Refused
005		Floor Plan	03.06.2013	Refused
006		Elevational Plan	03.06.2013	Refused

NORTH

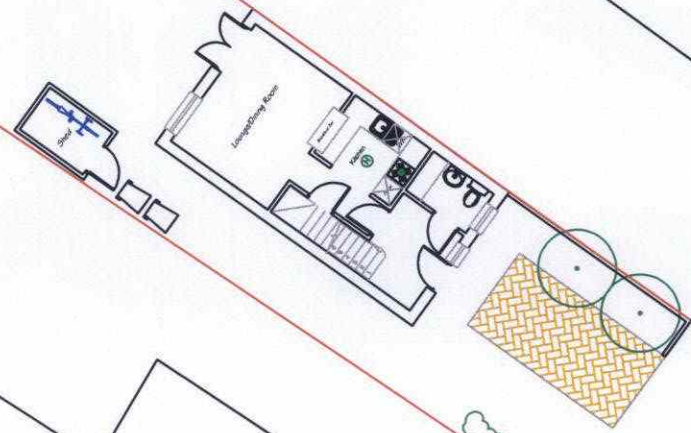
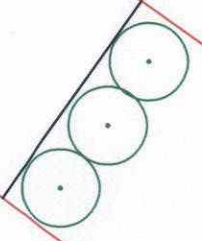


1:200

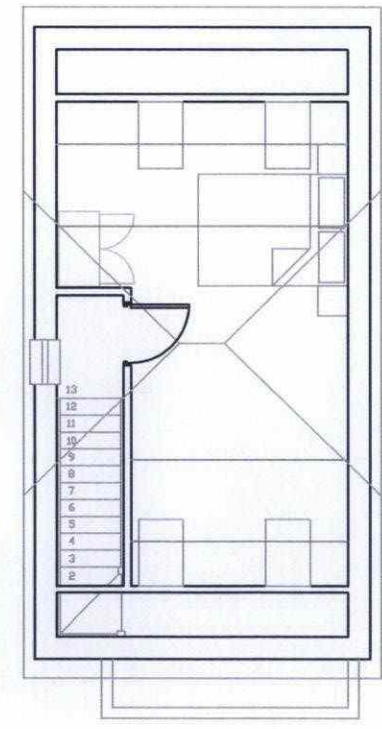
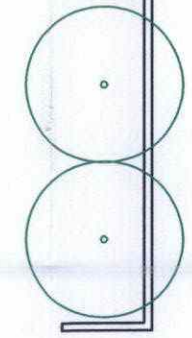
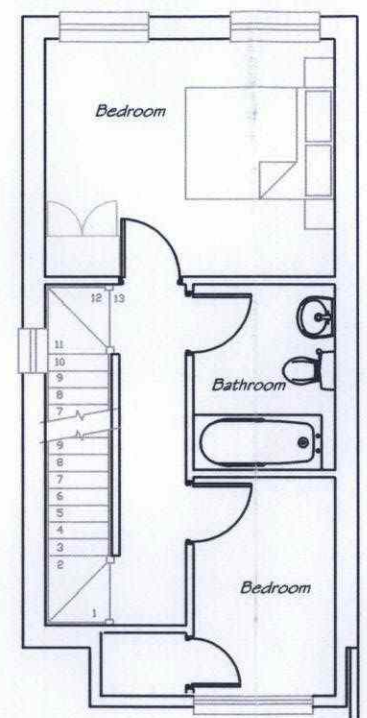
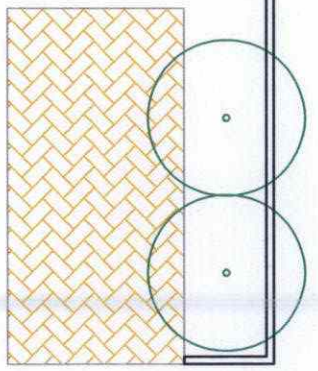
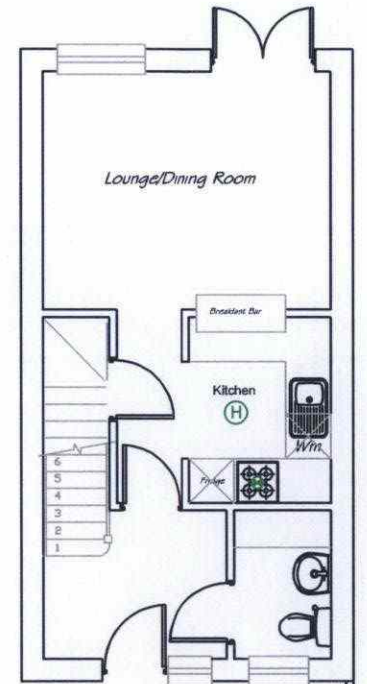
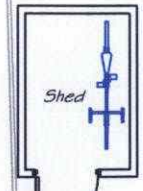
ANNING &

- 3 JUL 2012

PLANNING & DESIGN



HAWTHORN ROAD



Bedroom
1.5m Headroom

2.1m Headroom

2.1m Headroom

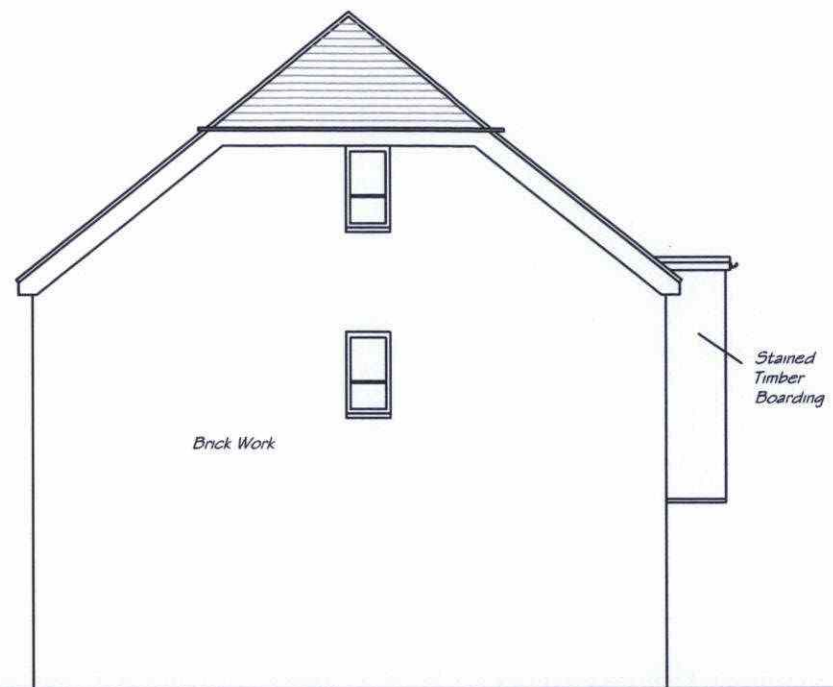
1.5m Headroom

LANNING
- 3 JUL 2013
SUSTAINABILITY

All dimensions & details shown on this drawing to be checked on site by the contractor before fabrication & erection. Figured dimensions to supersede scaled dimensions. All building work to be carried out with proper materials which are appropriate for the circumstances in which they are used & in a workmanlike manner in accordance with the Building Regulations, British & EU Standards, BS&C Standards of application and Manufacturers recommendations.

These drawings to be read in conjunction with the approved Building Notes for this project (separate A4 sheets & product information).

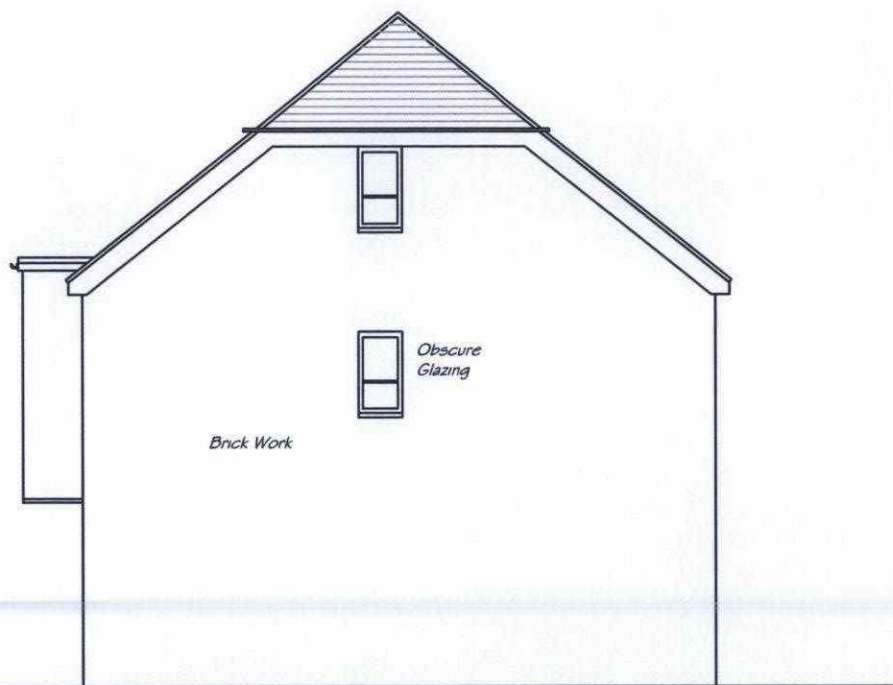
Project Name/Address	6 FURZEDOWN ROAD HIGHFIELD SOUTHAMPTON	
Clients name	WILL & ANNELEISE	
Drawing Title:	NEW DWELLING LAYOUTS	
Drawing Scale	Drawing No	Date
1:100	005	7/5/13



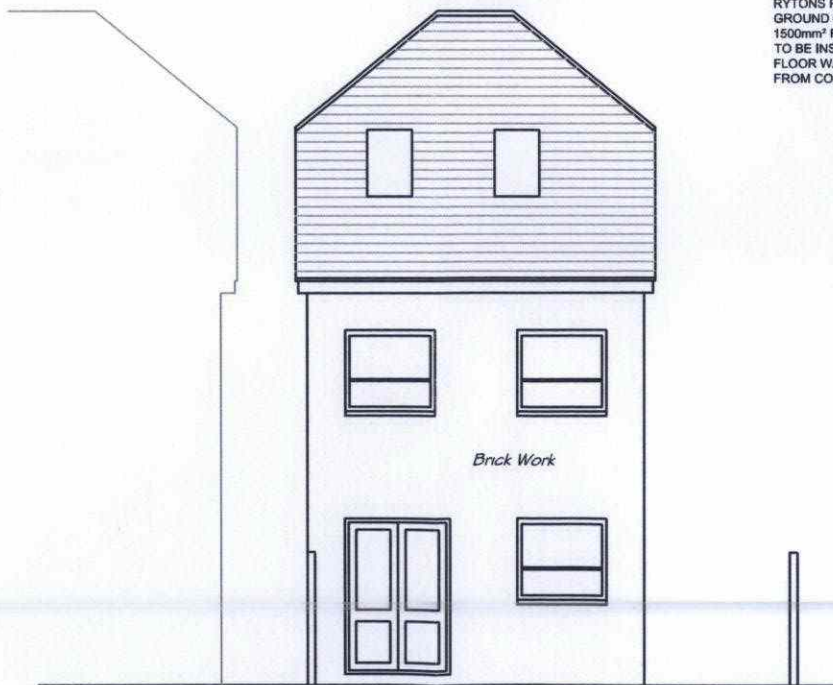
SOUTH SIDE ELEVATION.



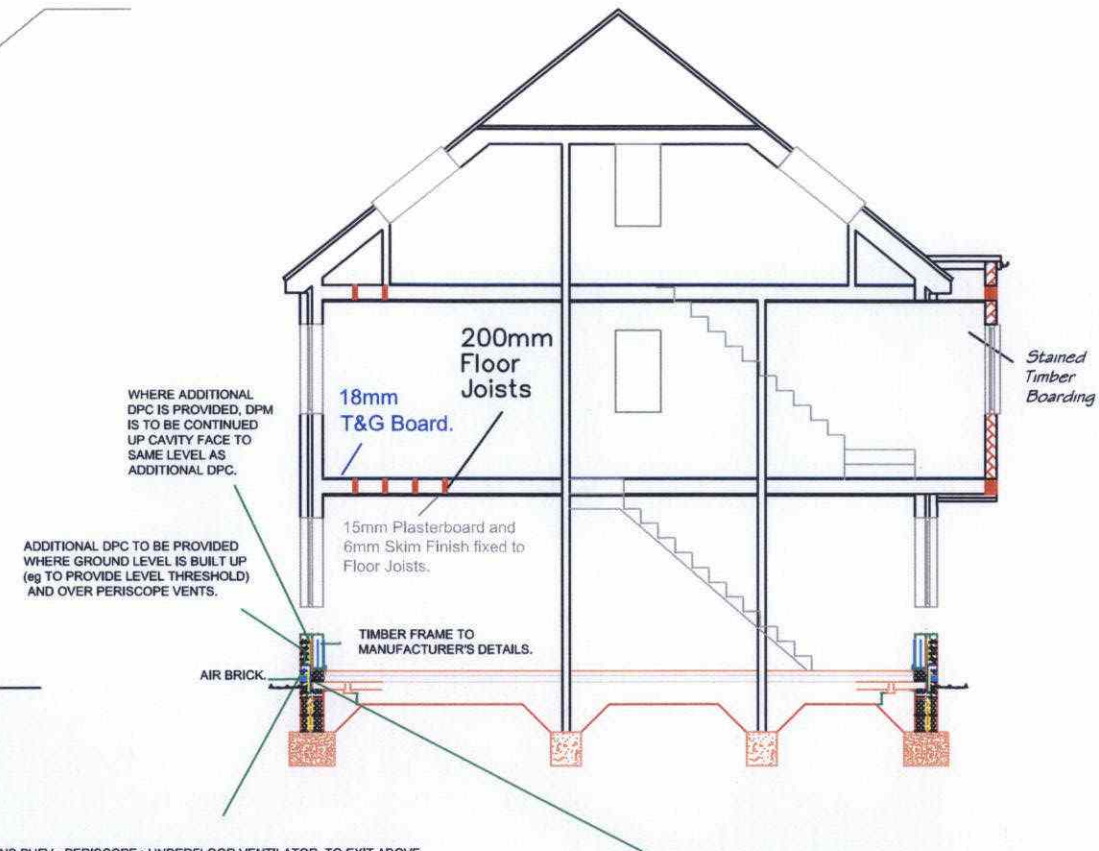
EAST FRONT ELEVATION



NORTH SIDE ELEVATION.



WEST REAR ELEVATION



RYTONS PUFV - PERISCOPE® UNDERFLOOR VENTILATOR. TO EXIT ABOVE GROUND LEVEL. VENTILATORS TO PROVIDE AN OPENING EQUIVALENT TO 1500mm² FOR EACH METRE RUN OF WALL ON TWO OPPOSITE SIDES. TO BE INSTALLED ON ALL SIDES OF THE BUILDING (AND ON INTERNAL SUB FLOOR WALLS), MAXIMUM OF 2m CENTRES AND NOT MORE THAN 450mm FROM CORNERS.

NOTE: DPC TO BE PROVIDED MIN. 150mm ABOVE GROUND LEVEL AND TO BE STEPPED UP/DOWN WITH STONE COURSING TO MAINTAIN CONTINUOUS DPC AROUND BUILDING PERIMETER.

PLANNING
- 3 JUL 2013
SUSTAINABILITY

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These drawings to be read in conjunction with the approved Building Notice for the project separate sheets & product information.

Project Name/Address: 6 FURZEDOWN ROAD, HIGHFIELD, SOUTHAMPTON

Clients name: WILL & ANNELIESE

Drawing Title: NEW DWELLING ELEVATIONS

Drawing Scale	Drawing No	Date
1:100	006	7/5/13